

ORDINANCE NO. 1340

AN ORDINANCE OF THE CITY OF PANAMA CITY BEACH, FLORIDA, AMENDING THE CITY'S LAND DEVELOPMENT CODE; CLARIFYING THE SITE DESIGN AND DEVELOPMENT STANDARDS APPLICABLE TO LOTS IN EXISTING RESIDENTIAL SUBDIVISIONS LYING WITHIN THE FRONT BEACH ROAD OVERLAY DISTRICT; CLARIFYING THE APPLICABLE SETBACKS FOR A RESIDENTIAL PLATTED LOT WITHIN THE FRONT BEACH OVERLAY DISTRICT, AND PROVIDING FOR MODIFICATION OF SUCH SETBACKS NECESSARY TO ACCOMMODATE A PORTE COCHERE; INCREASING THE SIDE SETBACKS IN FBO-3 AND FBO-4 FOR PORTIONS OF BUILDINGS EXCEEDING 120' OR TEN STORIES; CLARIFYING THE BUILDING HEIGHT STANDARDS BY CONSISTENT USE OF THE TERM "STORY" THROUGHOUT SECTION 7.02.03 AND PROVIDING A DEFINITION OF "GROUND STORY OR FLOOR"; AMENDING THE TERMS "STORY" AND "BUILDING HEIGHT"; CORRECTING INTERNAL CITATIONS WITHIN SECTION 7.02.07 RELATING TO THE BREAKFAST POINT OVERLAY DISTRICT; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT; PROVIDING FOR CODIFICATION; AND PROVIDING AN IMMEDIATELY EFFECTIVE DATE.

WHEREAS, the City desires to clarify and coordinate the applicable site design and development standards applicable to lots in existing residential subdivisions lying within the Front Beach Road Overlay District in order to align those specific design and development standards with the purpose and intent of the Front Beach Overlay Districts.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PANAMA CITY BEACH:

SECTION 1. From and after the effective date of this ordinance, Section 1.0702 of the Land Development Code of the City of Panama City Beach related to Definitions is amended to read as follows (new text **bold and underlined**, deleted text ~~struckthrough~~):

**Chapter 1. General Provisions.**

**1.07.00 ACRONYMS and DEFINITIONS**

**1.07.02 Definitions.**

...

***Building Height*** – The vertical distance between the highest **point of the ceiling of the highest habitable Story** and the highest crown (**highest point in the vehicular area of the right of way**) of a road abutting the property as provided in section 1.02.01D.

...

***Ground Cover*** – Plants, other than turf grass, normally reaching an average maximum height of not more than twenty-four (24) inches at maturity.

**Ground Story or Ground Floor—The Story having its floor level closest to grade at the entry of the building shall be considered the Ground Story or Ground Floor.**

**Group Home Facility – A Licensed Facility** that provides a family living environment including supervision and care necessary to meet the physical, emotional, and social needs of its residents. The capacity of such a facility shall be at least 4 but not more than 15 residents.

...

**Story** – A measure of height based on the number of habitable floors stacked vertically. For purposes of this LDC, a story ~~is~~ includes the area between the surface of any floor and the surface of the floor next above it, or if there is no floor above it, then the space between the floor and the ceiling next above it.

...

SECTION 2. From and after the effective date of this ordinance, Section 4.02.02 of the Land Development Code of the City of Panama City Beach related to Dimension Standards for Zoning Districts, is amended to read as follows (new text **bold and underlined**, deleted text ~~struck through~~):

## **Chapter 4. Site Design and Development Standards**

### **4.02.00 SITE DESIGN STANDARDS**

#### **4.02.02 Dimensional Standards for Zoning Districts**

##### **A. Minimum Residential Area**

1. The minimum living space as defined in the building code of a **Single Family Dwelling** shall be not less than 750 square feet or the FHA minimum, whichever is greater.
2. The minimum living space as defined in the building code of a **Multi-family Dwelling** shall be not less than 450 square feet or the FHA minimum, whichever is greater.

##### **B. Minimum Non-residential Area**

The minimum commercial floor area for a non-residential **Building** or structure shall be not less than 750 square feet.

##### **C. Setback Requirements**

The **Setback** of a given zoning district shall be increased for applicable **Lots** pursuant to section 4.04.02 (Visibility at **Intersections**).

##### **D. Building Height, Setback and Coverage Requirements**

1. **Building** location is determined by the **Setback** standards from the property line on the front, sides and rear of the property. Table 4.04.02A sets forth the **Setback** requirements, along with the maximum **Building Height** for each zoning district. These provisions are modified for FBO districts pursuant to Section 7.02.03.
2. Every part of the required **Setback area** shall be open from its lowest point to the sky, unobstructed except for the customary projection of sills, belts, courses, **Cornices**, ornamental

features, and **Eaves** that do not extend more than three (3) feet into the setback area; approved **Accessory Buildings**; and fencing. Open or enclosed fire escapes, outside stairways, balconies, chimneys, flues, generators or other projections shall not extend into any required **Setback area**, except that uncovered steps may project not more than three (3) feet into any required **Setback area**. Air conditioner/heat pumps shall be located the lesser of the **Setback** for the principal **Building** or five (5) feet from the property line. Underground improvements are not subject to **Setback** requirements.

3. **Building Height** shall be measured from the highest point of the crown (**highest point in the vehicular area of the right of way**) of an abutting street to the highest point of the ceiling in the highest habitable **Story floor**.
4. **Roof** pitches greater than 12:12 (twelve feet of rise for twelve horizontal feet), height are prohibited.
- 5.4. Nothing shall extend above the ridgeline except chimneys, cupolas, steeples, parapets, antennas, mechanical equipment and elevator equipment. Within the AR zoning district, height limitations shall not apply to silos.
6. 5. Within commercial districts, there shall be no projection of sills, belts, courses ornamental features or **Eaves** over any public right-of-way.
7. 6. Within the **portions of the Residential** subdivisions listed below **that are located outside an FBO district**, no permit shall be issued for a three (3) Story dwelling **or a dwelling exceeding twenty (20) feet in Building Height** until at least thirty (30) percent of the lots in the subdivision have been developed with two (2) story dwellings. This provision does not apply to the portions of the following subdivisions located within an FBO district:

Miramar Beach Area - All R-1C zoned areas in the following subdivisions:

- Miramar Heights Subdivision
- Wells Gulf Beach Estates
- Miramar Beach 1st Addition

Palmetto Trace - All phases.

Summerwood - All phases.

Summerbreeze Subdivision - All phases

Gulf Highlands, Unit 2 - All R-1B zoned areas.

Open Sands - All R-1C zoned areas including the Pura Vida unrecorded subdivision.

Gulf Highlands Subdivision - All R-1B or R-1C zoned areas.

Colony Club Area - All property zoned as R-1A in the following subdivisions:

- Greens West
- Bay West Estates Unit 1
- Colony Club Subdivision Phase 1
- Trieste Phase 2
- North Colony Club Estates Phase 1
- Trieste
- Colony Club Harbour Phases 1, 2, and 3
- All unrecorded lots in the Colony Club area.

The Glades Area - All property zoned as R-1B or R-O in the following subdivisions:

- The Glades and The Glades Phase II
- Tierra Verde and Tierra Verde Phase II
- Glades unrecorded addition..

Bid-A-Wee Beach Area - All property zoned as R-1C or R-O in the following subdivisions:

- Seclusion Beach
- North Bid-A-Wee 1st Addition
- North Bid-A-Wee Beach

- |  |  |
|--|--|
| <p>El Centro Beach Area - All R-1C zoned areas in the following subdivisions:</p> <ul style="list-style-type: none"> <li>• El Centro Beach</li> <li>• Diamond Head Section of Lakeside By The Gulf</li> <li>• Crown Point Section of Lakeside By The Gulf</li> </ul> | <ul style="list-style-type: none"> <li>• Reflections</li> <li>• Bid-A-Wee Beach 1st Addition</li> <li>• Bahama Beach and Bahama Beach 1st Addition</li> <li>• Daugette Addition to Bahama Beach</li> <li>• Fernwood Park</li> <li>• Gardenia Beach</li> <li>• Hearn's Addition to Bahama Beach</li> <li>• Hutchison's 1st Addition and 2nd Addition</li> <li>• Leary's 2nd Addition</li> </ul> |
|--|--|

SECTION 3. From and after the effective date of this ordinance, Section 4.05.03(K) of the Land Development Code of the City of Panama City Beach related to Parking Design, Location and Access Requirements, is amended to read as follows (new text **bold and underlined**, deleted text ~~struckthrough~~):

**Chapter 4. Site Design and Development Standards**

**4.05.00 OFF-STREET PARKING AND LOADING**

**4.05.03 Parking Design, Location and Access Requirements**

...

**K. Parking Garage Exterior and Interior Walls**

The exterior and interior walls of a ***Parking Garages*** located outside a FBO district shall meet the following standards:

1. At least fifty (50) percent of the clear height between ~~Stories~~ ~~floors~~ shall be open to the atmosphere for the full length of all exterior walls, excluding required stair and elevator walls and structural columns.
2. Wherever an exterior wall is open to the atmosphere, there shall be a continuous bumper or knee wall of ***Solid Faced*** construction extending from the floor to a height of not less than forty-two (42) inches.
3. An exterior wall may be closed wherever it abuts or is in common with another structure.
4. Interior wall lines and column lines shall be at least twenty (20) percent open and uniformly distributed.
5. Nothing herein shall supersede the loading and other safety design criteria specified by applicable building construction codes for all interior and exterior walls of a ***Parking Garage***.
6. The color, texture and design of all facings of a parking garage and any required pedestrian crossover must be consistent with the principal structure which the parking garage is intended to serve. Building wall articulation or architectural relief shall include one or more of the

following: pilasters, vertical piers, vertical landscaping, columns, colonnades, windows, awnings or shutters.

SECTION 4. From and after the effective date of this ordinance, Section 7.02.03(F) of the Land Development Code of the City of Panama City Beach related to Building Fronts and Setbacks in the Front Beach Overlay District, is amended to read as follows (new text **bold and underlined**, deleted text ~~struckthrough~~):

**Chapter 7. Special Overlay Districts**

**7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS**

**7.02.03 Front Beach Road Overlay Districts**

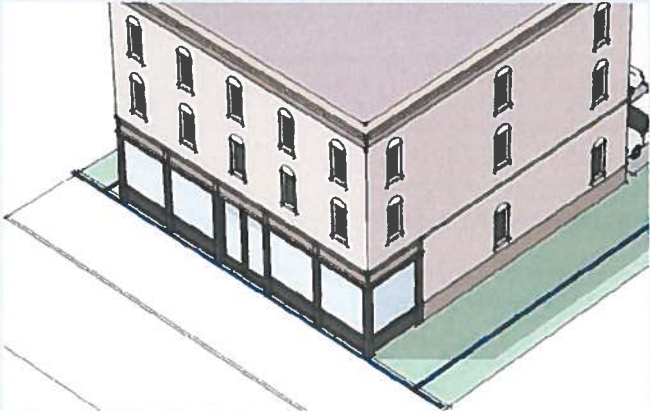
**F. Building Fronts and Setbacks**

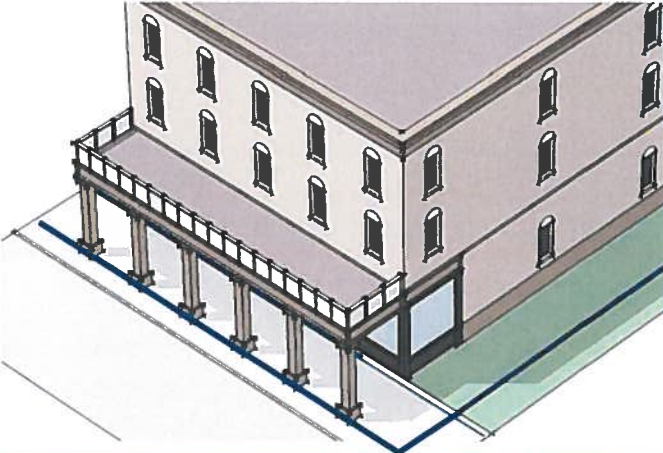
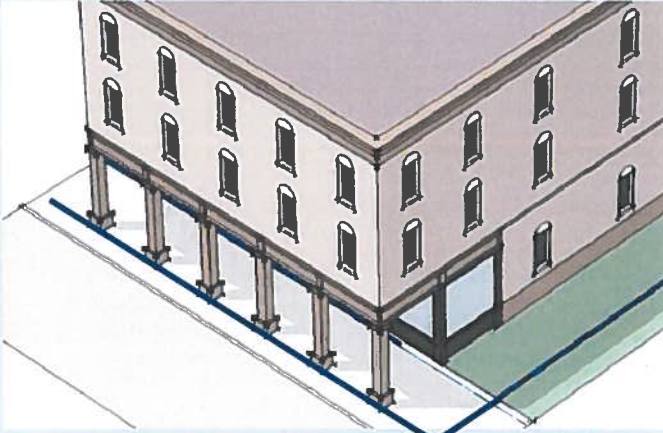
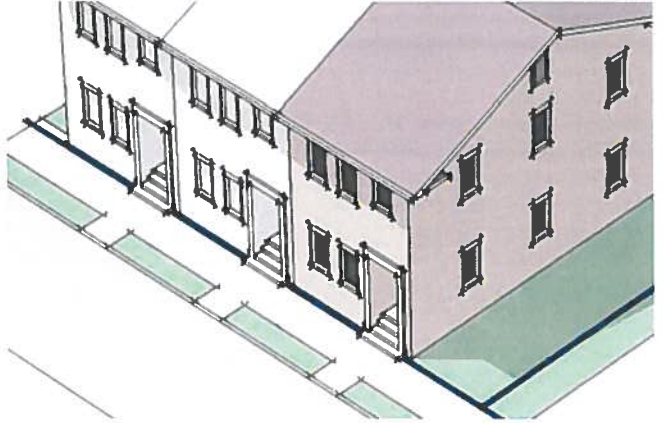
**F. Building Fronts and Setbacks**

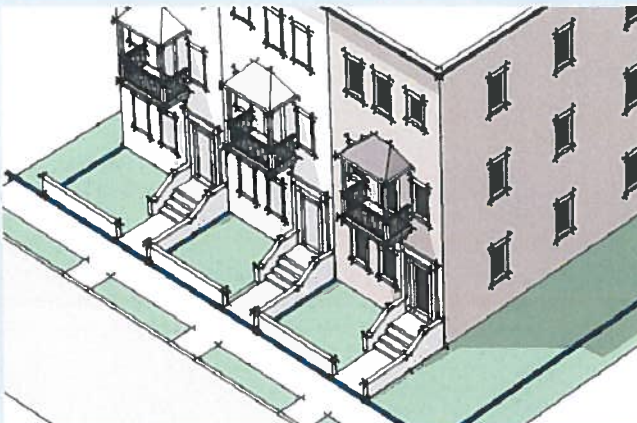

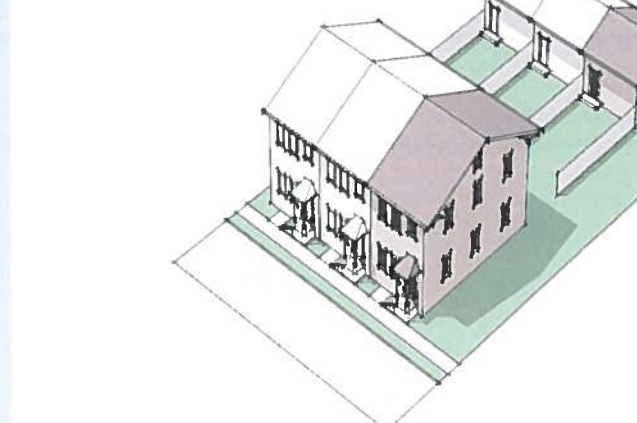
1. **Setback in Certain Areas.** For Lots in subdivisions platted prior to January 1, 2015, that are located in R-1 or R-2 districts on the north side of Front Beach Road, the setbacks of the underlying zoning district shall apply to all *Development and Redevelopment*. The setbacks for underlying zoning districts also shall apply to all *Development and Redevelopment of a Parcel lying in whole or in part along Panama City Beach Parkway*.

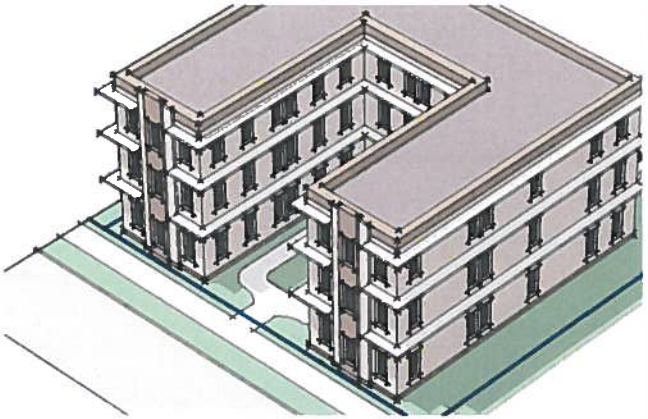
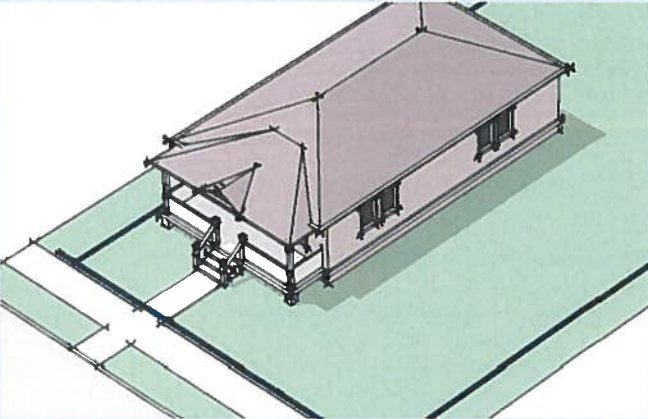
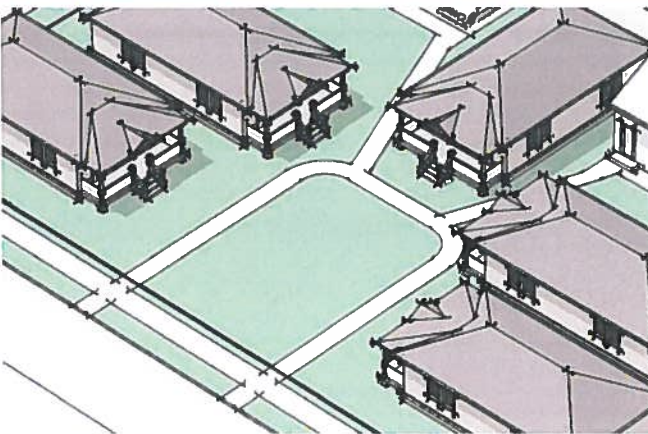
± 2. **Building Front Types Defined.** Table 7.02.03.A defines the *Building* front types permitted in FBO districts. All applications for *Development* within an FBO district shall assign each *Building* a specific *Building* front type and each *Building* shall be designed in accordance with the standards that apply to that *Building* front type, as established in this section. In addition to the building fronts established in this section, section 7.02.03L establishes standards allowing the establishment of buildings with porte cochere fronts in the FBO-4 district,

**Table 7.02.03.A: Building Front Definitions**

Group	Definition	Illustration
A	<p><b>Storefront.</b> A storefront is a <i>Building</i> front with the façade at or near the back of the sidewalk with the <i>Building</i> entrance at sidewalk grade. This <i>Building</i> front is conventional for retail, office, accommodations and mixed <i>Use Buildings</i>. It has substantial <i>Glazing</i> on the sidewalk level and an awning that may overlap the sidewalk.</p> <p>Allowed in the FBO-2, FBO-3 and FBO-4 districts.</p>	

Group	Definition	Illustration
A	<p><b>Gallery.</b> A gallery is a <b>Building</b> front with an attached cantilevered balcony or a lightweight colonnade overlapping the portion of a sidewalk located outside the public right-of-way. This <b>Building</b> front is conventional for retail, office, accommodations and mixed <b>Use Buildings</b>.</p> <p>Allowed in the FBO-2, FBO-3 and FBO-4 districts.</p>	
A	<p><b>Arcade.</b> An arcade is a <b>Building</b> front where the façade is a colonnade that overlaps the portion of the sidewalk located outside the public right-of-way. This <b>Building</b> front is conventional for retail, with other <b>Uses</b> in the occupied space above the colonnade.</p> <p>Allowed in the FBO-2, FBO-3 and FBO-4 districts.</p>	
A	<p><b>Doorway.</b> A doorway is a <b>Building</b> front with the façade aligned with the back of the sidewalk and the entry door flush with the façade or recessed into the façade. This type is similar to storefront <b>Frontages</b>, except that they are primarily used for <b>Residential</b> entries.</p> <p>Allowed in the FBO-2, FBO-3 and FBO-4 districts.</p>	

Group	Definition	Illustration
B	<p><b>Dooryard.</b> A dooryard is a <b>Building</b> front with the façade set back from the <b>Frontage</b> line behind an at-grade courtyard. This type buffers <b>Residential</b> and accommodations <b>Uses</b> from sidewalks and removes the private <b>Yard</b> from public encroachment. The dooryard is suitable to conversion for outdoor dining.</p> <p>Allowed in the FBO-1, FBO-2, FBO-3 and FBO-4 districts.</p>	
B	<p><b>Terrace/Light Court.</b> A terrace/light court is a <b>Building</b> front with the façade set back from the <b>Frontage</b> line by an elevated terrace or light court. The court can potentially <b>Access</b> an additional unit or commercial space below <b>Street</b> grade. This type removes the private <b>Yard</b> from public encroachment. The terrace or light court may be suitable to conversion for outdoor dining.</p> <p>Allowed in the FBO-1, FBO-2, FBO-3 and FBO-4 districts.</p>	
C	<p><b>Stoop.</b> A stoop is a <b>Building</b> front with the <b>Facade</b> near the sidewalk and the front entry stairs connect to the sidewalk. The <b>Ground Story</b> first floor is elevated to provide privacy for <b>Residential Uses</b>. The stoop <b>Frontage</b> is primarily for <b>Residential Uses</b> in short <b>Setback</b> situations.</p> <p>Allowed in the FBO-2, FBO-3 and FBO-4 districts.</p>	

Group	Definition	Illustration
C	<p><b>Forecourt.</b> A forecourt is a <b>Building</b> front with a portion of the façade close to the <b>Frontage</b> line and the central portion is set back. The forecourt created may be suitable for vehicular <b>Drop-Offs</b>. This type should be interspersed with other <b>Frontage</b> types. Forecourts are appropriate locations for large shade trees. This <b>Building</b> front is used for <b>Residential</b> and non-residential uses.</p> <p>Allowed in the FBO-2, FBO-3 and FBO-4 districts.</p>	
C	<p><b>Lawn.</b> A lawn is a <b>Building</b> front with the façade is set back from the front <b>Lot Line</b>. Attached porches may be permitted to encroach into front <b>Yards</b> and an open fence at the <b>Frontage</b> line is optional. This <b>Building</b> front is used for <b>Residential</b> and non-residential uses.</p> <p>Allowed in the FBO-1 district.</p>	
C	<p><b>Common Lawn.</b> A common lawn is a <b>Building</b> front with a group of <b>Buildings</b> sharing a common lawn that opens to the <b>Street</b>. This <b>Building</b> front is used for <b>Residential</b> and non-residential uses.</p> <p>Allowed in the FBO-1 district.</p>	

**2.3 Allowed Frontage Types.** **Building** front types are only allowed in the FBO where an “A” is shown in Table 7.02.03.B for the corresponding **Building** front and FBO district. An applicant may select any **Building** front type that is allowed in the applicable zoning district. Table 7.02.03.B assigns each of the **Building** front types to a group. **Setback** standards for each of the groups of **Building** front types are listed in the following paragraphs 3, 4 and 5.



**Table 7.02.03.B: Allowed Building Fronts by Overlay District**

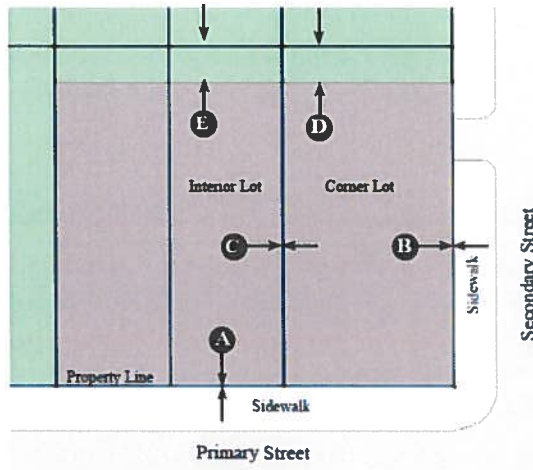
		Building Fronts								
Groups	A				B		C			
Districts	Storefront	Gallery	Arcade	Doorway	Dooryard	Terrace / Light Court	Stoop	Forecourt	Lawn	Common Lawn
<b>FBO-1</b>					A	A			A	A
<b>FBO-2</b>	A	A	A	A	A	A	A	A		
<b>FBO-3</b>	A	A	A	A	A	A	A	A		
<b>FBO-4</b>	A	A	A	A	*	*	A	A		

\*Steps shall be allowed where necessary to comply with FEMA standards.

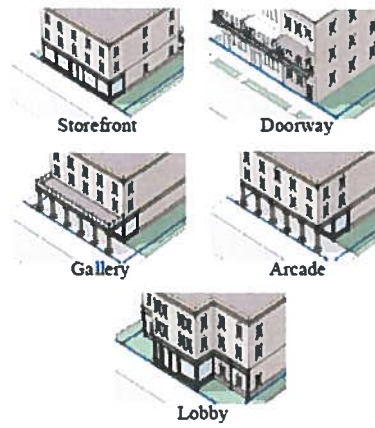
**3.4. Group “A” Building Front Standards.**

- a. **Building Setbacks** for **Building** Fronts listed under Group A in Table 7.02.03.B shall comply with the **Setback** requirements established in Table 7.02.03.C.
- b. **Setbacks** for stories one through four (1-4) are the minimum or maximum **Setbacks** in feet for the applicable side of the **Building** for each of the first four **Stories** floors. **Setbacks** for stories five and above (5+) are the minimum **Setbacks** in feet for **Stories** floors above the fourth **Story** floor.
- c. On the south side of Front Beach Road and South Thomas Drive, the minimum side **Setbacks** apply to all portions of the **Building** for the first four (4) stories and the side **Setbacks** for the portions of **Buildings** taller than four (4) stories apply only to the portions of the **Buildings** that are above the fourth **Story**.
- d. For purposes of the FBO district regulations, the primary **Street** shall be Front Beach Road, South Thomas Drive or Arnold Road. Where a structure does not abut one of these **Streets**, the primary **Street** shall be the **Street** with the highest order functional classification.
- e. ~~Setbacks for underlying zoning districts shall apply to **Parcels** lying along Panama City Beach Parkway.~~
- (f) ~~(e)~~ Setbacks for yards facing **Parcels** within an FBO district that abut parcels in an R-I district that is not within an FBO district shall comply with the **Setback** requirement for the underlying district unless the FBO district requires a greater **Setback**.

**Table 7.02.03.C: Group A Setbacks**



**Group A Building Fronts**



Notes:

A – Front Setback

C – Interior Lot Side Setback

E – Interior Lot Rear Setback

B – Exterior Lot Side Setback

D – Exterior Lot Rear Setback

**Table 7.02.03.C Setbacks for Group A Building Front Types (in feet)**

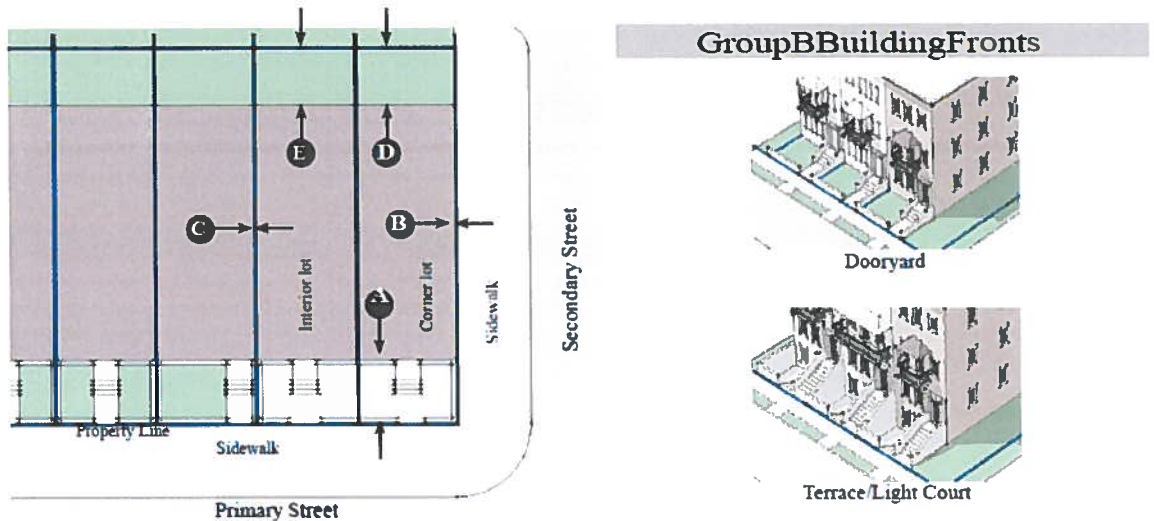
Dimensio	Setback		FBO-1	FBO-2	FBO-3	FBO-4
A	Front Setback (feet)	Stories 1 – 4	N/A	Minimum and Maximum: the greater of 47 from CL or 5 from PL		
		Stories 5 +		Minimum: the greater of 62 from CL or 20 from PL		
B	Exterior Lot Side Setback (feet)	Stories 1 – 4		5 maximum	5 maximum	5 maximum
		Stories 5 +		20 minimum	20 minimum	20 minimum
C	Interior Lot Side Setback (feet)	Stories 1 – 3		0 minimum	0 minimum	10 minimum
		Stories 1-3 South of Front Beach or South Thomas		10 minimum	NA	10 minimum
		Story 4		0 minimum	0 minimum	10 minimum
		Story 4 South of Front Beach or South Thomas		15 minimum	NA	15 minimum
		Stories 5 +		10 minimum	10 minimum	20 minimum
		Stories 5 + South of Front Beach or South Thomas		20 minimum	NA	20 minimum
D	Rear Setback (feet)	All stories –	FDEP or 25 min. if no FDEP	25 minimum	FDEP or 25 min. if no FDEP line is established	

Notes:

- 1: At least 80% of the **Building Facade** shall be located at the **Front Setback** line for storefront, arcade, gallery & doorway, except as authorized for a porte cochere (see section 7.02.03L).
- 2: For **Buildings** located on **Corner Lots**, at least the first 30 feet of the **Building** façade closest to the corner, shall be located at the **Setback** line. Lobby **Building** Front Type is exempt from this standard.
- 4: CL = centerline of Front Beach Road; PL = Property line
5. All **Setbacks** are measured from the Property line (or CL) to the **Building Facade**.
6. Refer to section 7.02.03G for **Front Yard** standards for areas between the **Building** façade and the front property line.
7. NA – not applicable

**4. 5. Group “B” Building Front Standards.**

- a. **Building Setbacks** for **Building** Fronts listed under Group B in Table 7.02.03.B shall comply with the setback requirements established in Table 7.02.03.D.
- b. **Setbacks** for stories one through four (1-4) are the minimum or maximum **Setbacks** in feet for the applicable side of the **Building** for each of the first four (4) **Stories** floors. **Setbacks** for stories five (5) and above are the minimum **Setbacks** in feet for **Stories** floors above the fourth **Story** floor.
- c. On the south side of Front Beach Road and South Thomas Drive, the minimum side **Setbacks** apply to all portions of the **Building** for the first four (4) stories and the side **Setbacks** for the portions of **Buildings** taller than four (4) stories apply only to the portions of the **Buildings** that are above the fourth **Story**.
- d. For purposes of the FBO district regulations, the primary **Street** shall be Front Beach Road, South Thomas Drive or Arnold Road. Where a structure does not abut one of these **Streets**, the primary **Street** shall be the **Street** with the highest order functional classification.
- e. ~~Setbacks for underlying zoning districts shall apply to **Parcels** lying along Panama City Beach Parkway.~~
- (f) (e) Setbacks for yards facing **Parcels** within an FBO district that abut parcels in an R-I district that is not within an FBO district shall comply with the **Setback** requirement for the underlying district unless the FBO district requires a greater **Setback**.



**Table 7.02.03.D: Group B Setbacks**

Notes:

- A – Front Setback
- C – Interior Lot Side Setback
- E – Interior Lot Rear Setback
- B – Exterior Lot Side Setback
- D – Exterior Lot Rear Setback

**Table 7.02.03.D Setbacks for Group B Building Front Types (in feet)**

Dimension	Setback	FBO-1	FBO-2	FBO-3	FBO-4
A	Front Setback Along Front Beach Road, South Thomas Drive or Arnold Road (feet)	Stories 1 – 4	min: the greater of 52 from CL; or 10 from PL max: the greater of 72 from CL; or 30 from PL	Minimum: the greater of 50 from CL or 8 from the PL. maximum: the greater of 62 from CL or 20 from the PL	
		Stories 5 +		Minimum: the greater of 62 from CL or 8 from the PL	
A	Front Setback Along Other <b>Streets</b> (feet)	Stories 1 – 4	10 minimum 30 maximum	8 minimum 20 maximum	8 minimum 20 maximum
		Stories 5 +		20 minimum	20 minimum
B	Exterior Lot Side Setback (feet)	Stories 1 – 4	5 minimum	5 maximum	5 maximum
		Stories 5 +		20 minimum	20 minimum
C	Interior Lot Side Setback (feet)	<b>Story 1</b>	0 minimum	0 minimum	0 maximum
		<b>1 Story</b> building south of Front Beach or South Thomas	5 minimum	5 minimum	NA
		<b>Story 2</b>	5 minimum	0 minimum	0 minimum
		<b>2 Story</b> building south of Front Beach or South Thomas	7.5 minimum	7.5 minimum	NA
		<b>Story 3</b>	10 minimum	0 minimum	0 minimum
		<b>3 Story</b> building south of Front Beach or South Thomas	10 minimum	10 minimum	NA
		<b>Story 4</b>	10 minimum	0 minimum	0 minimum
		<b>4 Story</b> building south of Front Beach or South Thomas	15 minimum	15 minimum	NA
		Stories 5 +		0 minimum	10 minimum
Stories 5 + south of Front Beach or South	NA		20 minimum	NA	
D	Rear Setback (feet)	All Stories	5 minimum	FDEP or 25 min. if no FDEP	25 minimum

N/A

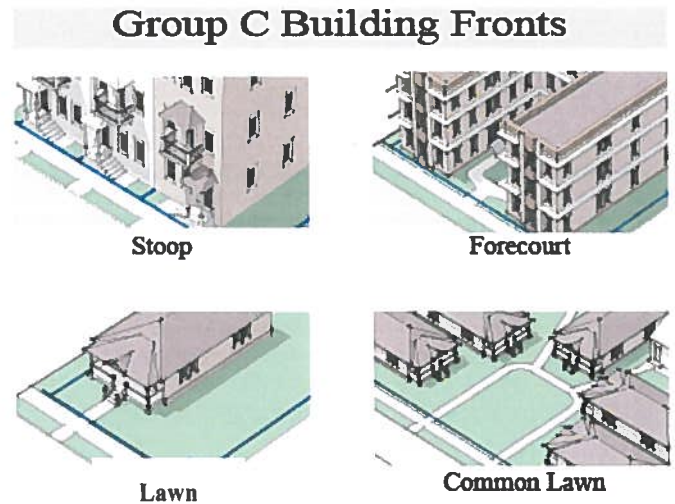
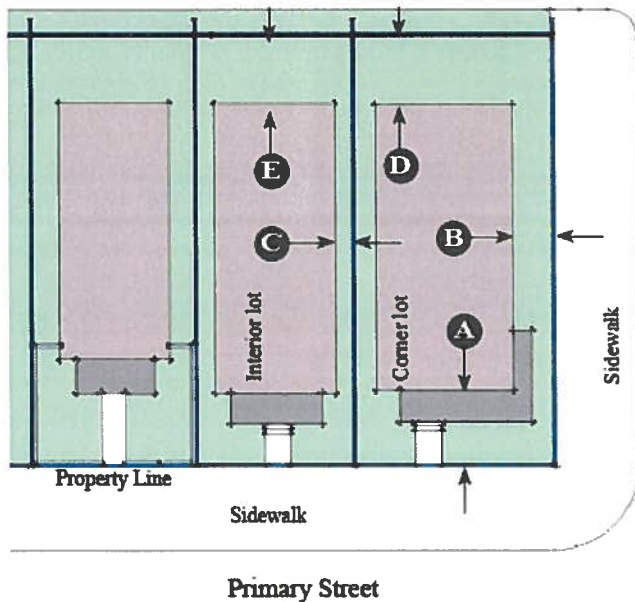
**Notes:**

- 1: At least 80% of the **Building Facade** shall be located at the front **Setback** line, except as authorized for a porte cochere (see section 7.02.03L).
- 2: For **Buildings** located on **Corner Lots**, at least the first 30 feet of the **Building Facade**, as measured from the front **Building** corner, shall be located at the **Setback** line.
- 3: CL = centerline of Front Beach Road; PL = Property line
4. All **Setbacks** are measured from the Property line (or CL) to the **Building Facade**.
5. NA = Not Applicable
6. Refer to section 1.02.01G for **Front Yard** standards for portions of the **Building Setback** from the property line.

5- **6. Group “C” Building Front Standards.**

- a. **Building Setbacks** for **Building** Fronts listed under Group C in Table 7.02.03.B shall comply with the setback requirements established in Table 7.02.03.E.
- b. **Setbacks** for stories one through four (1-4) are the minimum or maximum **Setbacks** in feet for the applicable side of the **Building** for each of the first four **Stories** floors. **Setbacks** for stories five and above (5+) are the minimum **Setbacks** in feet for **Stories** floors above the fourth **Story** floor.
- c. On the south side of Front Beach Road and South Thomas Drive, the minimum side **Setbacks** apply to all portions of the **Building** for the first four (4) stories and the side **Setbacks** for the portions of **Buildings** taller than four (4) stories apply only to the portions of the **Buildings** that are above the fourth **Story**.
- d. For purposes of the Front Beach Overlay district regulations, the primary **Street** shall be Front Beach Road, South Thomas Drive or Arnold Road. Where a structure does not abut one of these **Streets**, the primary **Street** shall be the **Street** with the highest order functional classification.
- e. ~~Setbacks for underlying zoning districts shall apply to **Parcels** lying along Panama City Beach Parkway.~~
- (f) **(e)** Setbacks for yards facing **Parcels** within an FBO district that abut parcels in an R-I district that is not within an FBO district shall comply with the **Setback** requirement for the underlying district unless the FBO district requires a greater **Setback**.

**Table 7.02.03.E: Group C Setbacks**



Notes:

- A – Front Setback
- C – Interior Lot Side Setback
- E – Interior Lot Rear Setback
- B – Exterior Lot Side Setback
- D – Exterior Lot Rear Setback

**Table 7.02.03.E Setbacks for Group C Building Front Types (in feet)**

Dimension	Setback	FBO-1	FBO-2	FBO-3	FBO-4	
A	Front Setback Along Front Beach Road (feet)	Stories 1 – 4	minimum: the greater of 52 from CL; or 10 from PL maximum: the greater of 67 from CL; or 25 from PL	minimum: the greater of 47 from CL or 5 from PL maximum: the greater of 50 from CL or 8 from PL	minimum: the greater of 47 from CL or 5 from PL maximum: the greater of 50 from CL or 8 from PL	
		Stories 5 +		minimum: the greater of 62 from CL or 20 from PL		
A	Front Setback Along Other Streets (feet)	Stories 1 – 4	10 minimum 25 maximum	3 minimum 8 maximum	0 minimum 8 maximum	0 minimum 8 maximum
		Stories 5 +		20 minimum	20 minimum	20 minimum
B	Exterior Lot Side Setback	Stories 1 – 4		0 - 5	0 - 5	0 - 5
		Stories 5 +	5 minimum	20 minimum	20 minimum	20 minimum
C	Interior Lot Side Setback (feet)	Story 1-2 Story		0 minimum	0 minimum	10 minimum
		1 Story building south of Front Beach or South Thomas	5 minimum	5 minimum	NA	10 minimum
		2 Story building south of Front Beach or South Thomas	7.5 minimum	7.5 minimum	NA	10 minimum
		Story 3	10 minimum	0 minimum	0 maximum	0 minimum
		3 Story building south of Front Beach or South Thomas	10 minimum	10 minimum	NA	15 minimum
		Story 4	10 minimum	0 minimum	0 minimum	0 minimum
		4 Story building south of Front Beach or South Thomas	15 minimum	15 minimum	NA	15 minimum
		Stories 5 +		0 minimum	0 minimum	0 minimum
Stories 5 + South of Front Beach or South Thomas	NA	20 minimum	NA	20 minimum		
D	Rear Setback (feet)	All stories	5 minimum	FDEP or 25 min. if no FDEP	25 minimum	FDEP or 25 min. if no FDEP

**Notes:**

- 1: At least 80% of the **Building Facade** shall be located at the front **Setback** line, except as authorized for a porte cochere (see section 7.02.03L).
- 2: At least 50% of the **Building Facade** shall be located at the front **Setback** line for the Forecourt, Lawn and Common Lawn.
- 3: CL = centerline of Front Beach Road; PL = Property line
4. All **Setbacks** are measured from the Property line (or CL) to the **Building Facade**.
5. Refer to section 7.02.03G for **Front Yard** standards for portions of the **Building Setback** from the property line.
6. NA = not applicable

SECTION 5. From and after the effective date of this ordinance, Section 7.02.03(G)

of the Land Development Code of the City of Panama City Beach related to Front Yards

Along Front Beach Road, Arnold Road and South Thomas Drive in the Front Beach Overlay District, is amended to read as follows (new text **bold and underlined**, deleted text ~~struckthrough~~):

## Chapter 7. Special Overlay Districts

### 7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS

#### 7.02.03 Front Beach Road Overlay Districts

##### G. Front Yards Along Front Beach Road, Arnold Road and South Thomas Drive

##### G. Front Yards Along Front Beach Road, Arnold Road and South Thomas Drive.

1. **Purpose.** Except where a porte cochere type Drop-Off is established pursuant to section 7.02.03.L, Regardless of the maximum Setback requirements, an applicant may establish a single Front Yard no wider at any point than twenty percent (20%) of the width of the front of the Building that establishes the rear line of the Front Yard, provided that the applicant can demonstrate that such a Front Yard will accomplish each and every of the following things and that all of the requirements of this Section 7.02.03.G will be met. ~~for a portion of any Building front type subject to compliance with the provisions of this section 7.02.03.G. Applicants are encouraged to provide Front Yards that include widened sidewalks, galleries, arcades, courtyards and other places for customers and the public to gather, provided that the Front Yards:~~
  - a. Improve the visual quality and character of the **Street**;
  - b. Promote pedestrian traffic and the use of public transit;
  - c. Are readily accessible and ADA/State of Florida compliant if used for Tourist Accommodations or non-residential purposes;
  - d. Enhance access between outdoor and indoor spaces; and
  - e. Enhance public safety and security, while promoting more effective use of the public realm.
2. **Types of Front Yard Improvements and Locations.**
  - a. Applicants are encouraged to provide Front Yards that include widened sidewalks, galleries, arcades, courtyards and other places for customers and the public to gather.
  - b. Where provided, **Front Yards** shall include the minimum a combination of the items listed in Table 7.02.03.F **as set forth in Table 7.02.03.G**, provided that the item is specifically allowed in the applicable portion of the **Setback** area, as indicated by the letter "A" in the exhibit. If not allowed, the item is prohibited. Table 7.02.03.F also establishes the group letter applicable to **Front Yard** items that corresponds with the group letters in Table



7.02.03.G. Table 7.02.03.G establishes the number **and general location** of authorized items that must be established within each **Front Yard**. **Front Yards** also may be used for **Building Access** improvements and **Driveways** in accordance with section 7.02.031L. In addition to the items listed below, the City may approve the installation of decorative bike racks, planter pots and pedestrian furniture.

**Table 7.02.03.F: Items Authorized in Front Yards**

Group #	Front Yard Items	Location	Distance from Back of Sidewalk (in feet)			
			$d \leq 5$	$5 \leq d < 15$	$15 \leq d <$	$d \geq 25$
1	Patio Paving/Hardscape	Behind the back edge of the sidewalk	A	A	A	A
	Groundcover		A	A	A	A
2	Lawn	Behind the back edge of the sidewalk		A	A	A
	Hedge			A	A	A
	Clustered Ornamentals: Flowering trees, palms	Along Building Facade		A	A	A
	Planting Beds: <b>Shrubs</b> , seasonal plantings	At the front property line or along the back edge of a sidewalk outside of the right-of-way	A	A	A	A
	Palms planted on 25 feet centers		A	A	A	A
	Trees planted on 50 feet centers		A	A	A	A
<b>Decorative Fence</b> 42 inch maximum height (see Section 1.02.01G.3.d)	A		A	A	A	
Masonry Wall with Hedge				A		
Masonry Wall with clustered ornamentals or groundcover		A	A	A		

Notes:

- 1: d = distance measured in feet
- 2: A = allowed item
- 3: < = is less than
- 4: ≤ = is less than or equal to
- 5: ≥ = is greater than or equal to

**Table 7.02.03.G: Minimum Number of Items Required in Front Yards**

Distance from Back of Sidewalk (feet)	Group 1	Group 2	Group 3
$d \leq 5$	1	0	0
$5 \leq d < 15$	0	2	0
$15 \leq d < 25$	0	3	0
$d \geq 25$	0	3	1

Notes:

- 1: d = distance measured in feet
- 2: < = is less than
- 3: ≤ = is less than or equal to
- 4: ≥ = is greater than or equal to

3. **Design Standards.** To achieve the purposes of this section, **Front Yards** shall be designed so that they are visible, avoid clutter, incorporate high quality, durable materials that are comparable in quality and complementary in design to public improvements provided or planned for the Front Beach Road corridor. In addition to complying with other district requirements, **Front Yards** and **Facades** shall meet the following design standards:
  - a. Flooring and surfaces shall be constructed of durable, non-slip materials that complement sidewalk paving. Changes in colors shall be used to highlight steps.
  - b. The shape and design (including landscaping) of the space shall provide visibility of the entire space from the sidewalk.
  - c. Lighting shall be adequate to illuminate the entire space, but lighting sources shall be hooded or directed so that they are not visible to pedestrians on the sidewalk.
  - d. Except as provided in this paragraph, fencing is prohibited. **Front Yards** may be enclosed by decorative walls, posts with decorative ropes or chains or other decorative enclosures approved by the **City Manager**, provided that the enclosure is not taller than thirty (30) inches. **Decorative Fencing** that is not higher than forty-two (42) inches may be authorized pursuant to a conditional **Use** permit to enclose commercial **Use of Front Yards**.
  - e. At least fifty (50) percent of the wall surface between two (2) and seven (7) feet above the **Average Grade** of the **Front Yard** shall be glazed and shall have a minimum transparency of seventy (70) percent.
  - f. Other than furniture for dining areas and outdoor displays subject to conditional **Use** approval, **Front Yard** improvements shall be limited to seating, decorative waste receptacles, fountains, water features and landscaping.
4. **Maintenance.** The ultimate owner of the **Front Yard** shall be responsible for raising all monies required for operations, maintenance or physical improvements in the **Front Yard** through annual dues, special assessments or other arrangements approved by the **City**. A copy of binding covenants or other arrangement providing for ongoing maintenance shall be recorded and a copy shall be provided to the **City**. In the event that the association or any successor organization shall fail to maintain the **Front Yard** in reasonable order and condition in accordance with the **Development** plan, the **City** may serve written notice upon the owner of record, setting forth the manner in which the owner of record has failed to maintain the **Front Yard** in reasonable condition. Failure to adequately maintain **Front Yards** in reasonable order and condition constitutes a violation of this section. The **City** is hereby authorized to give notice to the owner or occupant, as the case may be, of any violation, directing the owner to remedy the same within twenty (20) days. If a homeowner's association assumes ownership, its by-laws shall provide as follows:
  - a. The homeowners' association shall be authorized under its bylaws to place liens on the property of residents who fall delinquent in payment of such dues or assessments.

- b. Should any bill or bills for maintenance of **Front Yards** by the **City** be unpaid by November 1 of each year, a late fee of fifteen percent (15%) shall be added to such bills and a lien shall be filed against the **Premises** in the same manner as other municipal claims.
- c. **Commercial Use of Front Yards.** All or a portion of privately owned **Front Yards** may be used for dining areas or other commercial activities, subject to approval of a **Conditional Use** as provided in section 5.06.07.

...

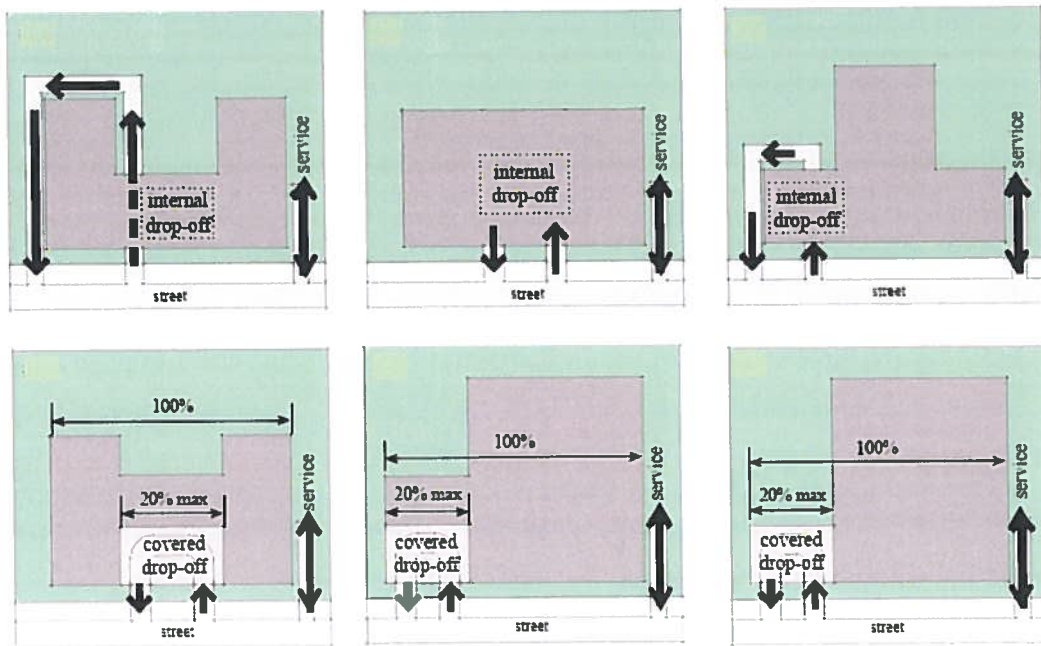
For Reference purposes only:

Section. 7.02.03.L Drop-Offs.

**Driveways** and **Drop-offs** not associated with a long-term parking area shall comply with the following standards and may use any of the applicable designs shown in **Figure 7.02.03.P:**

- 5. All **Drop-offs** shall be limited to one-way traffic.
- 6. While **Drop-offs** may be separated by a distance of twenty (20) feet or more, the combined width of internal drop internal **Drop-Off** openings may not exceed twenty (20) percent of **Building** width. Internal **Drop-Off** areas are defined as being covered by additional **Story(s)** of the **Building**.
- 7. Service bays are not allowed on the front of **Buildings** facing Front Beach Road, South Thomas Drive or Arnold Road. They may be internal to the **Building**.

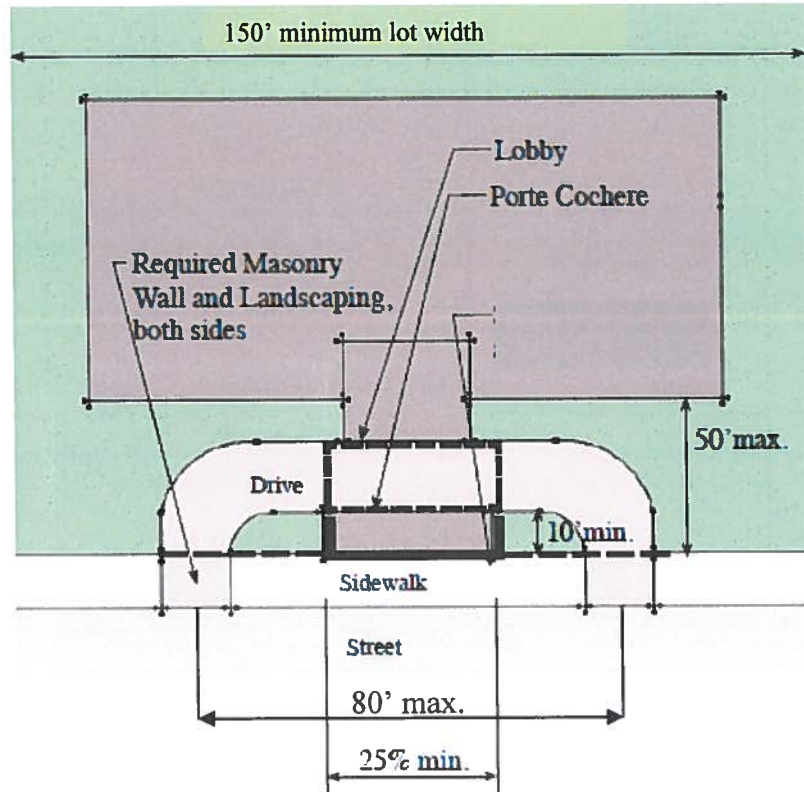
**Figure 7.02.03.P: Drives and Drop-Off Design Alternatives**



- 8. Covered **Drop-Off** areas or portes cochere may be established in the FBO-4 district in accordance with this paragraph and **Figure 7.02.03.Q:**

- a. The minimum parcel width shall be one hundred fifty (150) feet;
- b. The maximum distance between the centerlines of **Driveways** providing access to and from the porte cochere shall not exceed eighty (80) feet measured at the curb;
- c. The covered **Drop-Off** areas shall not exceed twenty-five (25) percent the total width of the **Building** they front. Covered **Drop-Off** areas are defined as being covered by a **Roof** or balcony and not having any additional stories above their footprint.

**Figure 7.02.03.Q: Porte Cochere Design**



SECTION 6. From and after the effective date of this ordinance, Section 7.02.03(H) of the Land Development Code of the City of Panama City Beach related to Building Height and Podium Standards in the Front Beach Overlay District, is amended to read as follows (new text **bold and underlined**, deleted text ~~struck through~~):

**Chapter 7. Special Overlay Districts**

**7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS**

**7.02.03 Front Beach Road Overlay Districts**

**H. Building Height and Podium Standards**

**H. Building Height and Podium Standards**

1. Table 7.02.03.H establishes the minimum and maximum **Heights** for **Buildings** in each of the FBO districts in terms of feet.
2. In each of the districts, additional height may be achieved through incentives established in Section 4.02.03E.
3. Table 7.02.03.I establishes standards for upper **Stories** floors that are built on top of the **Building** podium or base **Stories** floors, which are defined in terms of maximum feet (stories). Illustrations following the exhibit are conceptual only and are not intended to mandate the position of upper **Stories** floors on the podium, provided, however that in the FBO-3 and FBO-4 districts, the side setbacks shall be increased by at least fifteen (15) feet above the lesser height of one hundred twenty (120) feet or ten (10) Stories. The City Manager is authorized to modify the setback and podium standards for buildings receiving height incentives to provide architectural flexibility while achieving the purposes of the FBO-3 and FBO-4 districts and retaining the net impact of reducing the average floor area of all Stories above the required podium by twenty-five (25) percent of the ground floor area.
4. In a FBO-2 or FBO-3 district, **Buildings** thirty-five (35) feet tall or taller shall be set back from an FBO-1 or **Low Density Residential** district at least one hundred (100) feet. Starting at a distance of one hundred (100) feet from the applicable district boundary, **Building Height** may be increased to forty-five (45) feet. Beyond two hundred (200) feet, **Building Height** may be increased from forty-five (45) feet by one (1) foot for every one (1) foot increase in **Setback**. See Figure 7.02.03.A.
5. In the FBO-1 district, **Buildings** may extend an additional ten (10) feet beyond the total height allowed in this section provided that the portion of the **Building** exceeding the total height includes a tower room only. Tower rooms are restricted to a maximum of one hundred (100) square feet in area, excluding stairwells.
6. In the FBO-1 district, the width of the third **Story** floor shall be not be greater than seventy-five (75) percent of the width of the **Ground Story** first floor. Width of each Story shall be measured at the widest part of the applicable Story parallel to the shoreline of the Gulf of Mexico.

**Table 7.02.03.H: Minimum and Maximum Building Heights (in feet)**

	FBO-1	FBO-2	FBO-3	FBO-4
Minimum	12	14	14	14
Maximum without Incentives	35	45	75	150
Maximum with Incentives	45	65	110	220

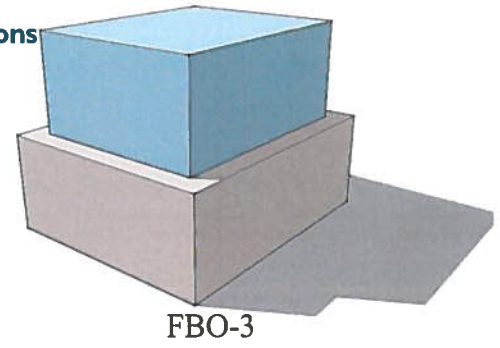
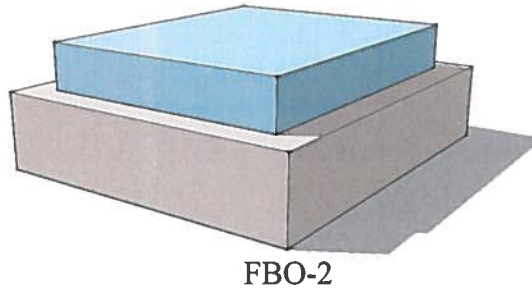
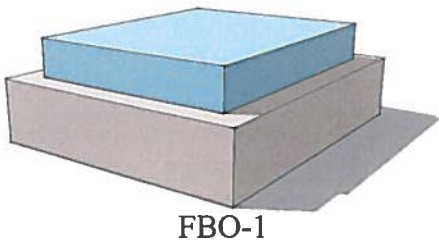
Notes:

- 1: **Height** shall be measured in accordance with section 4.02.02.
- 2: The maximum height may be limited in the FBO-2 or FBO-3 district by the provisions of section 7.02.03H.4.

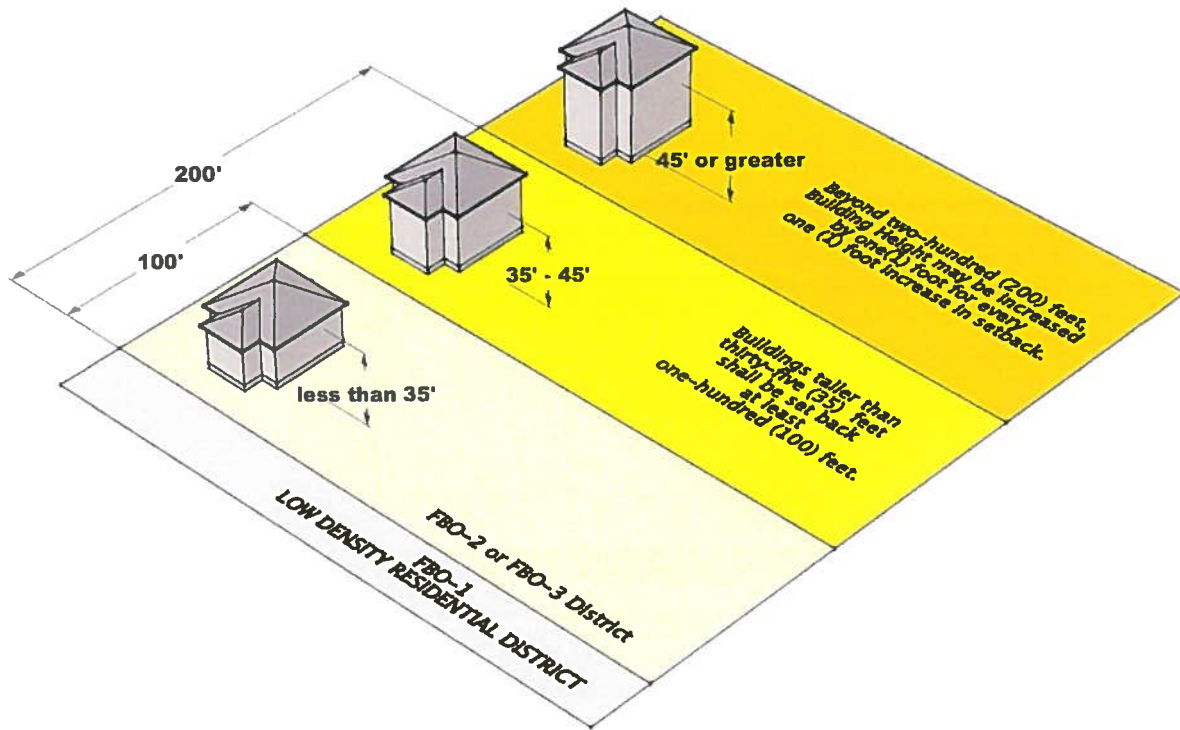
**Table 7.02.03.I: Podium Standards**

Zone	<i>Building Can Occupy No More Than 75% of the Ground Floor Building Footprint Above the Lesser of:</i>
FBO-1	25 feet or 2 stories
FBO-2	45 feet or four stories
FBO-3	120 feet or 10 stories
FBO-4	120 feet or 10 stories

**Podium and Upper Story Floor Illustrations**



**Figure 7.02.03.A: Setbacks for Buildings Taller Than 35 Feet**



SECTION 7. From and after the effective date of this ordinance, Section 7.02.03(K) of the Land Development Code of the City of Panama City Beach related to Parking Structures in the Front Beach Overlay District, is amended to read as follows (new text **bold and underlined**, deleted text ~~struck through~~):

- Chapter 7. Special Overlay Districts**
- 7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS**
- 7.02.03 Front Beach Road Overlay Districts**
- K. Parking Structures**

**K. Parking Structures**

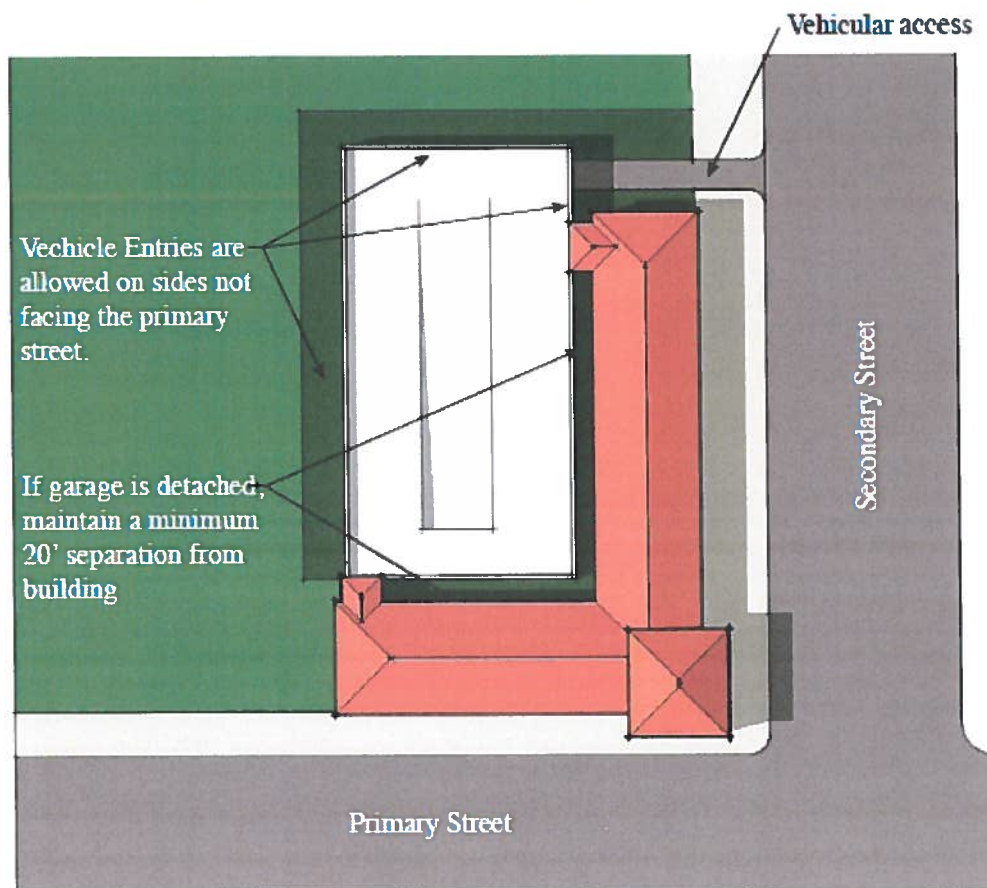
Except as provided in this subsection, all **Parking Structures** shall meet the requirements of section 4.05.00.

1. **Location.** **Parking Structures** shall be located behind **Buildings** in the interior of blocks. **Parking Structures** that abut Front Beach Road, South Thomas Road or Arnold Streets shall provide a lining of retail, office or **Residential Uses**, or window displays at the **Street** level along the entire **Street Frontage**.

These **Uses** shall include permitted **Frontages** as required by the applicable FBO district. **Parking Structures** are not allowed in the FBO-1 overlay district.

2. **Ground Floor Building Design.** **Parking Structures** shall have commercial **Uses** or window displays along the ground floor. However, one (1) ADA/State of Florida compliant pedestrian entrance to the **Parking Structure** may be located along each block. For purposes of the illustrations in this section, the primary **Street** shall be Front Beach Road, South Thomas Drive or Arnold Road.
  - a. When the **Parking Structure** includes a commercial **Use** lining the **Building** on the **Street** level, the retail or commercial liner shall provide a usable depth of no less than 10 feet. At least seventy-five (75) percent of the ground floor wall area between two (2) Feet and seven (7) feet shall be **Glazed** and shall have a minimum transparency of seventy (70) percent. Figure 7.02.03.F through J illustrate these conditions.

**Figure 7.02.03.F: Parking Garage Design with Building in Front**

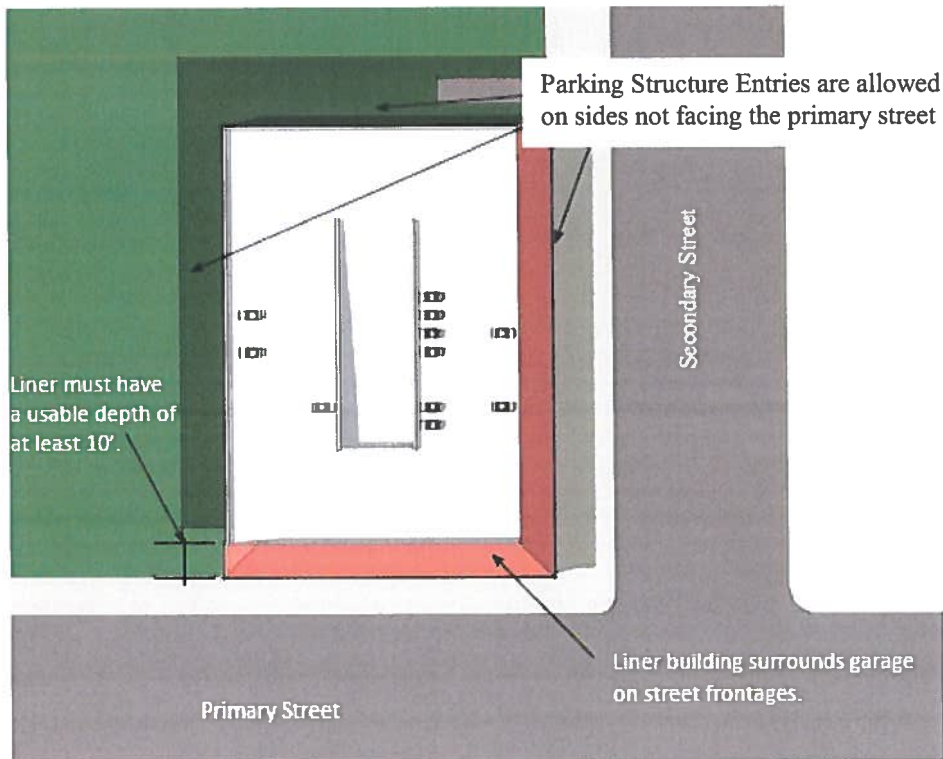




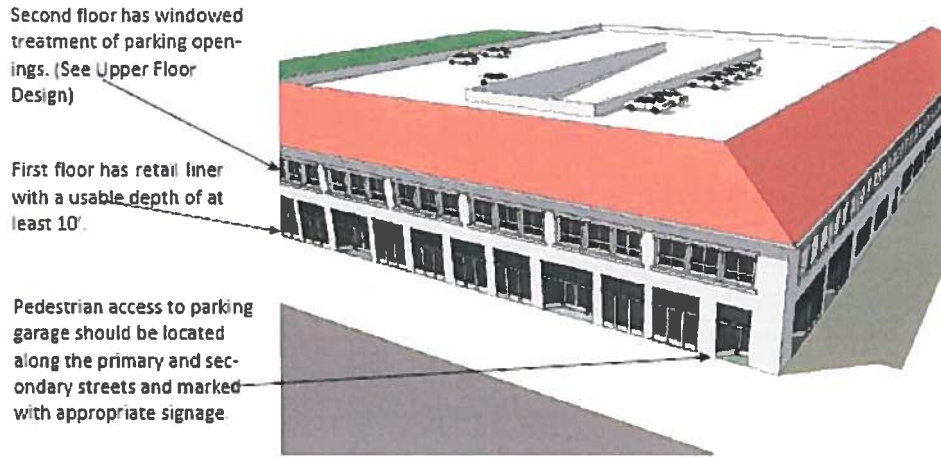
**Figure 7.02.03.G: Building Design, Building in Front of Parking Garage**



**Figure 7.02.03.H: Parking Garage Design with Liner Building**



**Figure 7.02.03.I: Building Design, Liner Building**

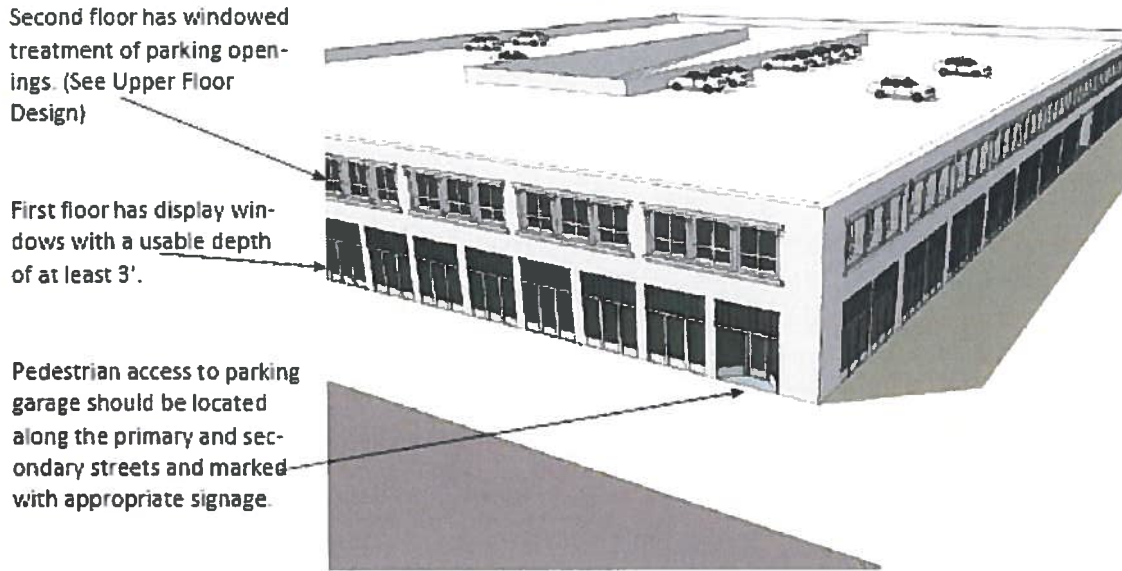


**Figure 7.02.03.J: Ground First Floor Design, Liner Building**



- b. When the **Parking Structure** includes window displays lining the **Building** on the **Street** level, window displays shall provide a usable depth of no less than three feet. Blinds, curtains or glass with greater opacity may be used in display windows without active displays. At least fifty (50) percent of the ground floor wall area between two (2) feet and seven (7) feet shall be **Glazed** and shall have a minimum transparency of seventy (70) percent. Figure 7.02.03.K and L illustrate these conditions.

**Figure 7.02.03.K: Building Design, Window Display**

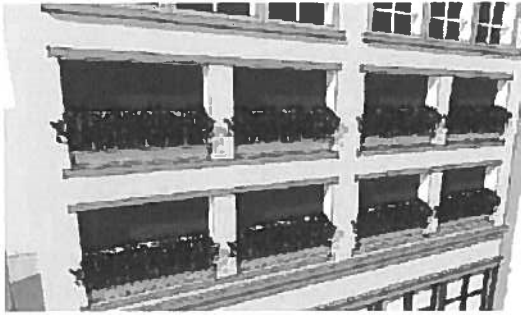


**Figure 7.02.03.L: Ground First Floor Design, Display Windows**



- c. **Parking Structures** that provide a lining of retail or commercial **Uses** at the **Street** level shall be classified according to the requirements of section 1.02.01K. and meet the applicable regulations.
3. **Upper Story Floor Design.** No less than sixty (60) percent of the upper **Stories floors** of any **Parking Garage** wall facing a public right-of-way shall consist of exposed openings. The opening shall be designed with one or more of the following treatments, shown below:
  - a. **Landscaped opening.** Planter boxes shall be installed within or in front of the openings. Planter boxes shall be maintained with live plants. A lattice with a maximum of fifty (50) percent opacity may be installed to cover the opening. Figure 7.02.03.M illustrates this treatment.

Figure 7.02.03.M: Landscaped Opening



Landscaped Opening

- b. Fenced opening. A rail shall be installed across the opening to give the appearance of a balcony. Figure 7.02.03.N illustrates this treatment.

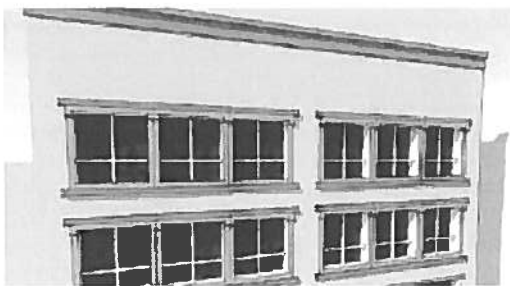
Figure 7.02.03.N: Fenced Opening



Fenced Opening

- c. Windowed opening. The openings shall be framed and mullions added to give the appearance of large windows. Figure 7.02.03.O illustrates this treatment.

Figure 7.02.03.O: Windowed Opening



Windowed Opening

- 4. **Building design and materials.** **Parking Structures** shall comply with the **Building** design and **Building** material requirements of the applicable overlay district

SECTION 8. From and after the effective date of this ordinance, Section 7.02.03(N) of the Land Development Code of the City of Panama City Beach related to Building Design Standards in the Front Beach Overlay District, is amended to read as follows (new text **bold and underlined**, deleted text ~~struck through~~):

## Chapter 7. Special Overlay Districts

### 7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS

#### 7.02.03 Front Beach Road Overlay Districts

##### N. *Building Design Standards*

##### N. *Building Design Standards*

###### 1. *Building Materials.*

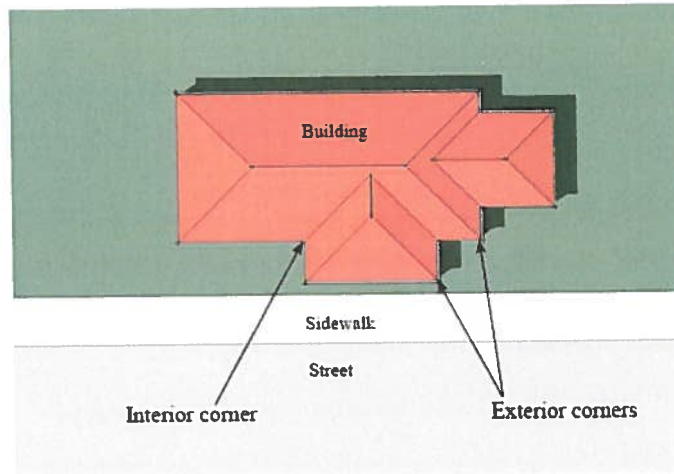
- a. In the FBO-1 and FBO-2 districts, no more than two (2) materials shall be visible on any exterior façade, not including windows, doors, foundation walls, columns, chimneys, soffits and trim. If two wall materials are used, heavier-weighted materials shall be located below lighter-weighted materials, as defined in Table 7.02.03.L and separated by a horizontal joint. Vertical changes in material shall not occur within two (2) feet of an exterior corner. When possible, vertical changes in materials shall occur at interior corners (see Figure 7.02.03.R). Allowed materials include wood, stone, brick, stucco, architectural block (split faced), and cementitious materials.

**Table 7.02.03.L: Exterior Materials by Weight**

Heavy weight materials	Medium weight materials	Light weight materials
<b>Brick</b>	Stucco	Horizontal siding
<b>Stone</b>		Vertical siding
		Shingle siding

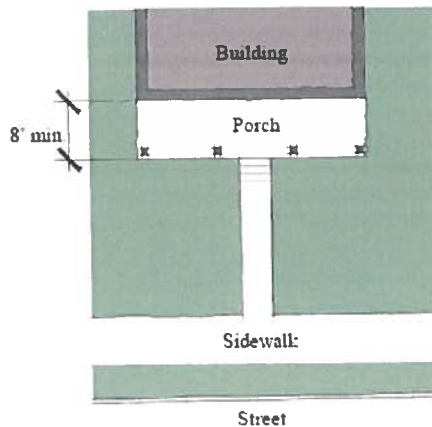
- b. *Building* exteriors in the FBO-3 and FBO-4 districts shall be clad in masonry materials only. Masonry materials include stone, brick or stucco. Cementitious materials that mimic wood lap siding are not an approved masonry material for any building that is more than three (3) stories in **Height**. No more than two materials shall be visible on any exterior façade, not including windows, doors, foundation walls, soffit, columns and trim. If two wall materials are used, heavier-weighted materials shall be located below lighter-weighted materials, as defined in Table 7.02.03.L and separated by a horizontal joint. Changes in material along a horizontal plane shall not occur within two (2) feet of an exterior corner. When possible, these horizontal changes in materials shall occur at interior corners. (see Figure 7.02.03.R)

**Figure 7.02.03.R: Interior and Exterior Corners**



2. Front Porches and Stoops. (See Figure 7.02.03.S and Figure 7.02.03.T)
  - a. Porches and stoops shall be raised a minimum of thirty (30) inches above the grade of the sidewalk.
  - b. Front porches shall be a minimum of eight (8) feet deep. Porch beams shall be visible. Porch column width shall match the width of the porch beams. To the greatest practical extent, columns and piers should be evenly spaced.
  - c. Handicapped ramps used in conjunction with a front porch or stoop shall be constructed of masonry, concrete, pressure treated lumber or composite lumber, and shall not be located on a **Street**-facing side of the porch.

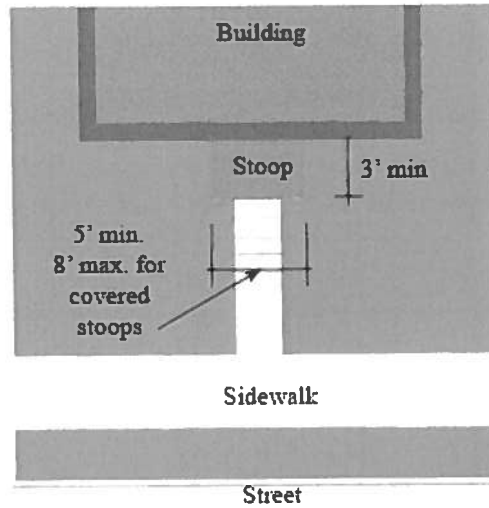
**Figure 7.02.03.S: Porches**



3. Stoops and covered stoops shall be constructed of stone, brick, concrete, pressure treated materials and composite materials, and shall be a minimum of three (3) feet deep and a minimum of five (5) feet wide. A covered stoop greater than eight (8) feet wide shall be considered a porch.
4. Covered stoops shall have a visible means of support for the **Roof** consisting of beams and columns, piers or brackets. Columns and piers shall have the same width and spacing

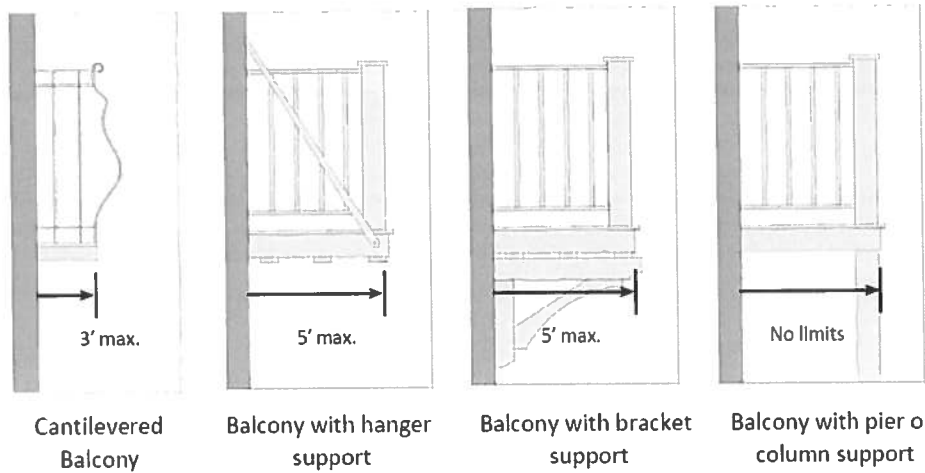
requirements as columns and piers for porches. Stoops and covered stoops shall be accessed by stairs.

**Figure 7.02.03.T: Stoops**



- Balconies.** Balconies facing adjacent to and facing the sandy shore of the beach shall extend no further than three (3) feet beyond the **Building** wall without the use of brackets, hangers, piers or columns. Balconies extending from three (3) to five (5) feet from the **Building** wall shall incorporate the use of brackets, hangers, columns or piers as a visible means of support. A balcony extending beyond five (5) feet from the **Building** wall shall use walls, columns or piers as a visible means of support. (see Figure 7.02.03.U)

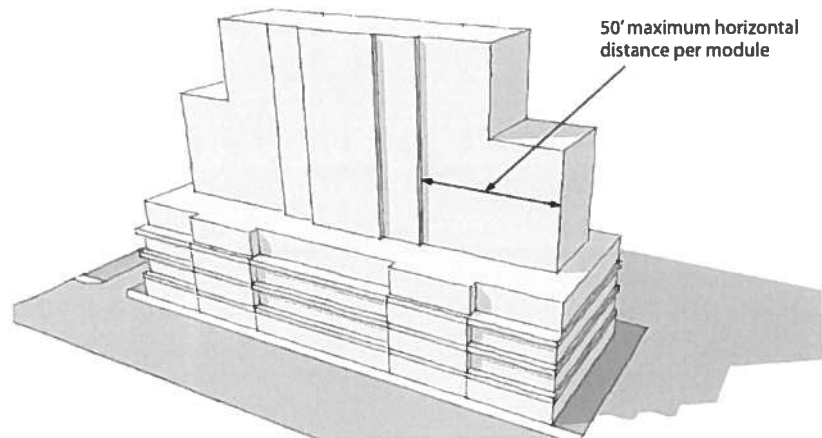
**Figure 7.02.03.U: Balconies**



- Mechanical Unit Location.** Mechanical equipment shall not be located at the front of a **Building**. Mechanical equipment shall be located in areas that are screened from the public streetscape or public **Access** ways by the sides and rears of **Buildings** or within mechanical areas inside the **Buildings**. **Roof-top** mechanical equipment shall be screened by a wall that is equal to the height of the equipment being screened.

7. **Utilities.** On-site utilities shall be screened or incorporated into building insets to the greatest practical extent.
8. **Modulation.** In the FBO-3 and FBO-4 districts, recesses and projections shall be used to create shadow lines to break up the massing of all **Buildings** taller than four (4) stories that have more than seventy-five (75) feet of **Frontage** along Front Beach Road and South Thomas Drive for all **Stories** floors above the fourth **Story**. The minimum depth of modulation shall be two (2) feet. The minimum horizontal width shall be five (5) feet and the maximum horizontal width per module shall be fifty (50) feet. (see Figure 7.02.03.V)

**Figure 7.02.03.V: Modulation**



SECTION 9. From and after the effective date of this ordinance, Table 7.02.03N of the Land Development Code of the City of Panama City Beach related to the modification of FBO Standards in the Front Beach Overlay District, is amended to read as follows (new text **bold and underlined**, deleted text ~~struck through~~):

- Chapter 7. Special Overlay Districts**
- 7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS**
- 7.02.03 Front Beach Road Overlay Districts**
- Q. FBO District Development Procedures**

**Q. FBO District Development Procedures**



Table 7.02.03.N: Standards

Standard	Reference (subsection of 7.02.03)	Not Modifiable	Ministerial Modification	Variance
Front Yards	G		✓	
Minimum Parking Requirements.	I		✓	
Shared Parking.	I	✓		
Parking Location	I			✓
Parking Lot Landscaping.	I		✓	
Parking Lot Design	I		✓	
Parking Mitigation	I	✓		
Parking Structure Location	K	✓		
Parking Structure Building Fronts	K	✓		
Parking Structure Building Materials	K	✓		
Parking Structures - Other Design Requirements	K			✓
Location of Frontage Types	F			✓
Front Setbacks (minimum)	F			✓
Front Setbacks (maximum)	F			✓
Side Setbacks (minimum)	F		✓	
Side Setbacks (maximum)	F			✓
Rear Setbacks (minimum)	F		✓	
Rear Setbacks (maximum)	F		✓	
Gallery Setback (maximum)	F		✓	
Build-to ratio (80% Building Facade shall be located at the front setback line for first 4 <u>Stories floors</u> )	F		✓	
Tower Rooms	F		✓	
Height in feet (maximum) and Building Stepbacks	H			✓
Podium Design	H		✓	
Driveways / Garages	J			✓
Building Materials	N			✓
Modulation	N		✓	
Mechanical Unit Locations / Design	N		✓	
Porches / Balconies	N			✓
Drop-offs	L		✓	

SECTION 10. From and after the effective date of this ordinance, Section 7.02.07 of the Land Development Code of the City of Panama City Beach related to the Breakfast Point Overlay District is amended to read as follows (new text **bold and underlined**,

deleted text ~~struckthrough~~):

## Chapter 7. Special Overlay Districts

### 7.02.00 ESTABLISHMENT OF SPECIAL OVERLAY DISTRICTS

#### 7.02.07 Breakfast Point Overlay District

#### 7.02.07 Breakfast Point Overlay District

- A. Applicability. The provisions of this section shall apply to all property described upon attached Exhibit A.
- B. Site Design Requirements. In addition to all other requirements of the Land Development Code, new development in the Breakfast Point Overlay District must meet the following lot and building requirements. In the event of an inconsistency between the provisions of this Section 7.02.07 ~~7.02.06~~ and the other requirements of the LDC or the City of Panama City Beach Code of Ordinances, the provisions of this Section 7.02.07 ~~7.02.06~~ shall control.
  - 1. Notwithstanding the provisions of the zoning district, Land Uses within the Breakfast Point Overlay District shall be limited to Single Family Dwellings and Residential Community Accessory Uses.
  - 2. Setbacks:
    - a. Minimum Front Yard: ten (10) feet
    - b. Minimum Rear Yard: ten (10) feet
    - c. Minimum Side Yard for one-story structure: five (5) feet
    - d. Minimum Side Yard for two-story structure: seven and a half (7.5) feet
    - e. Minimum Side Yard Street: ten (10) feet
  - 3. Definition of One-Story Structure. For purposes of this Section 0 only, a one-story Structure may include an accessory living space located within the Structure's attic, between the ceiling of the Structure's **Ground Floor** and its roof and between its rafters or trusses supporting its roof, provided, however,
    - a. with regard to the Structure, (1) there is no vertical displacement of any exterior perimeter wall of the accessory living space; (2) there are no windows in the accessory living space overlooking an adjacent, residential lot (typically no side windows); (3) the roof pitch does not exceed a ratio of 12:12; and (4) no decking or other projection extends from any exterior wall of the accessory living space.
    - b. with regard to the accessory living space, (1) it is a finished, air conditioned space; (2) it is accessible only by stairs on the Structure's interior; (3) it is not used for home occupations; and (4) it does not exceed 850 square feet.

SECTION 11. All ordinances or parts of ordinances in conflict herewith are repealed to the extent of such conflict.

SECTION 12. The appropriate officers and agents of the City are authorized and directed to codify, include and publish in electronic format the provisions of this Ordinance within the Panama City Beach Land Development Code, and unless a contrary ordinance is adopted within ninety (90) days following such publication, the codification of this Ordinance shall become the final and official record of the matters herein ordained. Section numbers may be assigned and changed whenever necessary or convenient.

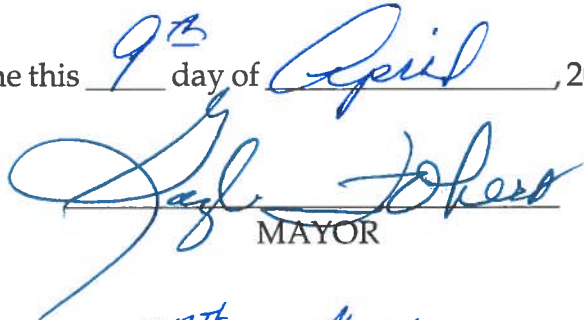
SECTION 13. This Ordinance shall take effect immediately upon passage.

PASSED, APPROVED AND ADOPTED at the regular meeting of the City Council of the City of Panama City Beach, Florida, this 9<sup>th</sup> day of April, 2015.

  
MAYOR

ATTEST:  
  
CITY CLERK

EXAMINED AND APPROVED by me this 9<sup>th</sup> day of April, 2015.

  
MAYOR

Published in the News Herald on the 27<sup>th</sup> day of March, 2015.

Posted on pcbgov.com on the 10<sup>th</sup> day of April, 2015.